

The Royal Pines Riverside Architectural Guidelines

“The Architectural Guidelines”

Disclaimer: All readers of The Royal Pines Riverside Architectural Guidelines should be aware that:

1. The Architectural Guidelines contain many building specifications (side front and rear setbacks, site coverage and building heights, to name a few) that were rejected as Development Control By-Laws by the Ministerial Power of the Queensland Government.
2. The reader is advised to seek confirmation (in writing) from the PBC that The Architectural Guidelines have been properly approved by proper resolution of the PBC.
3. The Architectural Guidelines appear to be for the Western Section **“Riverside”** only (setting aside that they may not have been properly approved by proper resolution of the PBC).
4. The Architectural Guidelines have been administered, at various times, by the PBC, simultaneously, or at the same time, with the unlawful **“Proposed Development Control By-Laws** and the Lawful Development Control By-Laws.
5. The Architectural Guidelines, as published on the website, are provided as information only and should not be relied on for any other purpose such as building specifications, planning etc and are read on that basis.
6. The webmaster has not authorised in any way these Architectural Guidelines.



A vertical collage of five architectural images is positioned on the right side of the page. From top to bottom: 1. A close-up of a building's roofline with a red-tiled roof and a dark, textured wall. 2. A window with a white frame and a dark, textured wall. 3. A large, green, tropical leaf. 4. A white, cylindrical pipe or vent on a red wall. 5. A man in a white shirt and a woman in a black top standing outdoors, with a building and trees in the background.

Architectural Guidelines **ROYAL PINES**
RIVERSIDE



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THE EXPECTATION

Royal Pines Resort is a mature resort with all the benefits of near city living. Located on three principal arteries connecting the ocean with the hinterland, it is now a highly prized address. The vision of the Riverside residential community now responds to the needs of the present. Critical to the development is a brand new 9 hole Golf Course. Sharing the perimeter of this beautiful course is a variety of residential land offering unique lifestyle choices. The Master Plan has been carefully crafted to embrace and enhance all the natural assets. At the same time it provides for a vibrant mix of lifestyle character to allow for a range of residents ensuring the community is dynamic and sustainable using the principles of new urbanism. The neighbourhood is easy to walk or ride a bicycle through with a minimum of walls separating the streetscape from the landscape, enhancing the vistas and streetscapes.

The plan creates a mix of detached housing bordering the golf course, along the Nerang River and in quiet precincts with parks and open space. There is also provision for variety directed toward more compact living. A marina precinct will feature a more social interactive lifestyle with restaurants and coffee shops. This setting is richly endowed with lifestyle options of river views, marina activity and golf course ambience. The mountain views will always be there and there is ready access to city, beach and freeway. In order to contribute and guide home owners with a clear understanding of living in Royal Pines Resort, a set of Guidelines has been carefully developed. These are specifically intended to assist and guide your architect, designer or builder during the early decision making process of your design. On a larger scale, they will provide a consistent pattern of development protecting your investments, giving detailed and clear knowledge of the vision for the community.



THE PRINCIPAL OF THE GUIDELINES

WHAT ARE GUIDELINES?

Firstly your investment in property is recognised by a clearly defined set of directions that everyone can follow. In this way each investor protects the other, to the benefit of all. There is also the fore knowledge of the character of the community. This is created by the streetscape and the way dwellings relate to it with position, architectural materials and colours. Views are preserved and shared responsibilities such as fences are clearly defined. The comprehensive document provides architects, designers and builders with clear and concise advice on how to blend house and land to the fabric of the built environment.

The guidelines also recognise the distinct precincts that have been so carefully arranged to provide lifestyle variety.

These include:

- Hill Precinct
- Park Precinct
- River Precinct
- Golf Precinct

Each of these precincts contains a variety of dwelling types and they are described under four specific parts of the guidelines.

Part 1 Detached Dwellings (including zero lot line)

Part 2 Attached Dwellings (eg. Duplex)

Part 3 Attached Dwellings (eg. Townhouse)

Part 4 Apartment Buildings

The guidelines create a subtle signature quality to the landscaping of each precinct to achieve variety within a distinct Royal Pines Resort character. They also harmonise the development through a range of colours, materials and forms of your home, provide ideas and assistance on matters related to energy efficiency and the savings that result. Orientation, aspects and our climate are also discussed in terms of better living and coming to terms with the new statutory requirements of sustainability.

Some building types will have specific characteristics and require variations to the general guidelines. To clarify differences, the guidelines treat each of the 4 dwelling types separately. The first part (Part 1) includes detached dwellings and the general description for the other types. Parts 2, 3 and 4 will highlight issues distinctive for that specific type of dwelling indicated.

WHAT STEPS SHOULD I TAKE?

The guidelines provide the first step in the process for approvals. Royal Pines Resort have also established a Design Review Committee (DRC) to assist you in meeting the guidelines. You should provide them with your designs so they may review and approve them for construction. The Committee consists of professionally responsible people who can provide information and assistance needed for a speedy approval process. The guidelines include a simple to follow chart explaining these steps. You can discuss your design ideas with the DRC and raise any issues that vary from the requirements. These will be respectively considered, bearing in mind that the DRC does have the final discretion in such matters. Whilst they are designed to explain specific issues, it must be remembered that these guidelines respect the statutory conditions of all authorities and in no way are they intended or permitted to replace or to contradict them.

THE GUIDELINES IN GENERAL

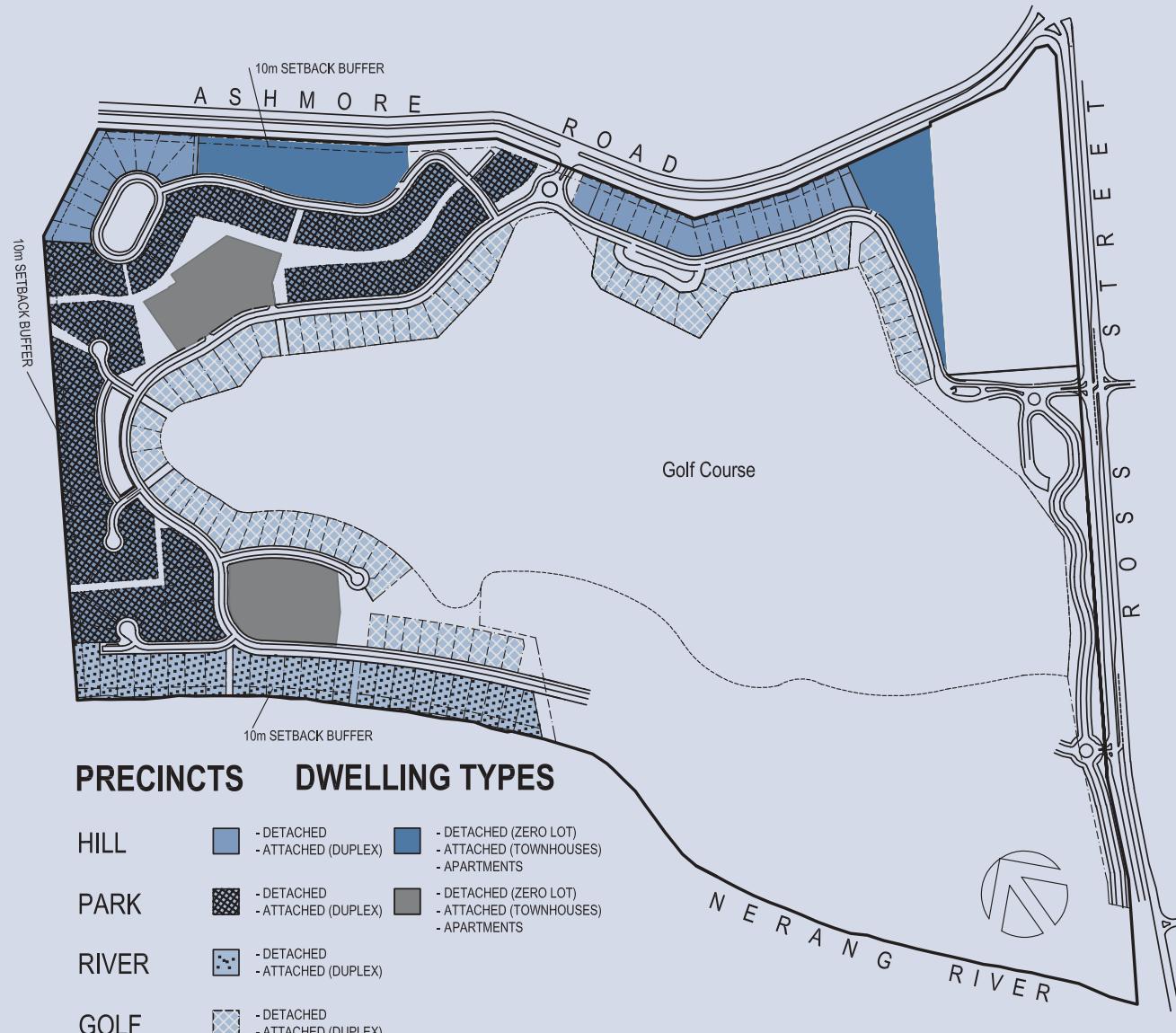
Royal Pines Eastern Residential precinct is an established community of housing and medium density, set in a luxurious landscaped setting. Bordering the 18 hole golf course it enjoys mountain and fairway views. The architectural style is contemporary and the building colours are predominately toward the white end of the scale. Royal Pines Western Residential precinct is the next generation of the resort. The character for this community will generally complement the existing Royal Pines Eastern Residential precinct. However, it is not intended to be a reproduction and the west will reflect changing times and markets.

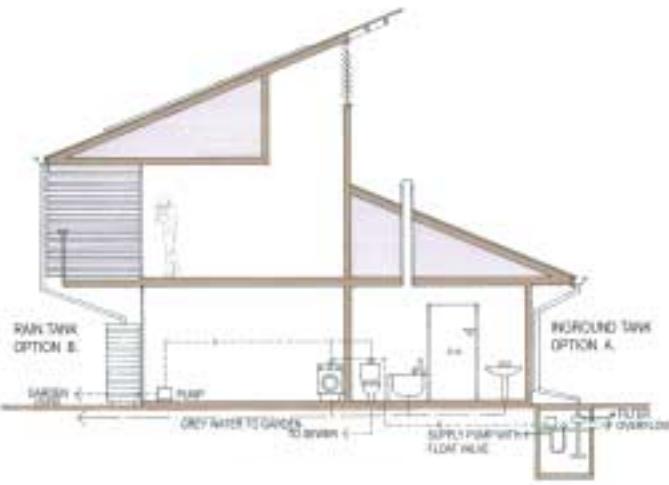
WHAT IS THE ARCHITECTURAL CHARACTER?

We are between the cool and hot climates and the architecture should reflect this. Designs that respond to our climate are a mixture of lightweight and solid construction. Natural light and ventilation are abundant and a necessary ingredient in contemporary design. When we combine and arrange these to maximise our comfort, integrating interiors with exteriors is a natural consequence. This then is what contemporary Queensland design is naturally inclined to do. Encouragement is given to large overhangs, light colours, protected glass with appropriate screening for heat protection and privacy.

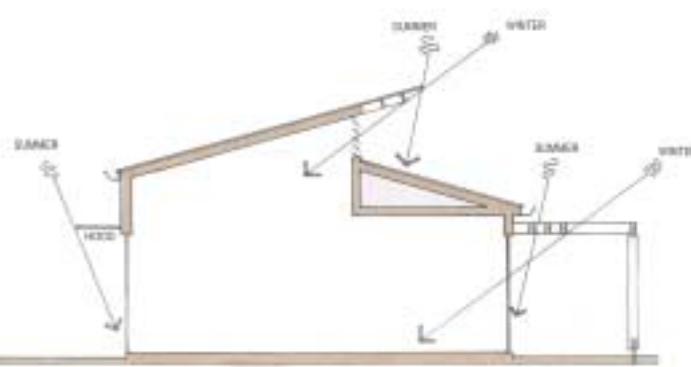
Architectural styles periodically reflect some earlier period to varying degrees. Drawing on these is part of the evolution of design. Royal Pines Resort however does not feel that reproductions in a literal sense, such as Tuscan, Federation or Colonial are appropriate and will discourage such designs in favour of a more contemporary Queensland style. Your architect or designer can assist you in this.

PRECINCT PLAN





WATER MANAGEMENT



CLIMATE MANAGEMENT



HEAT MANAGEMENT

DESIGN CRITERIA

It is an important benefit to have a 'Global' view of your investment. These overriding principles of design should be considered from the outset.

CONSIDER THE LOT

Your Lot may be selected for outlook, cost or future value, but the size, shape and orientation are also vitally important for long term satisfaction. Selecting the lot should involve consideration of all these factors.

CONSIDER YOUR LIFESTYLE NEEDS

These should be clearly defined so the final design is complementary to them. Having good advice from your architect at the outset will speed up the decision making and help to achieve your goal.

CONSIDER THE ENVIRONMENT

Royal Pines Resort provides a variety of choices for a living environment in the Master Plan. The overall landscaping will include open spaces, parks and landscaped laneways so that everyone can walk in and around the development. You can enhance this by carefully considering your own landscaping design. Recycling grey water for your garden and water wise plumbing will ensure the future value of your dwelling. Royal Pines Resort have already considered the issue of grey water and are installing a specially designed grey water ring main. See diagram on left.

CONSIDER THE CLIMATE

You can respond to this with simple design principles:

- Design your rooms to suit the climate. For example, living areas on the North and East
- Bedrooms on the South
- Garages, laundry and storage on the West

Comfort is best achieved by excluding summer sun:

- Overhangs, sunshades, screens, landscaping

Winter sun should be allowed to warm living areas:

- Design overhangs and sunshades that achieve this
- Utilize concrete slabs in floors to heat during the winter

day (thermal mass) so they can release the heat at night. "Heat storage" walls can do the same, but require protection from summer sun. See diagram on left.

CONSIDER THE BUILDING

In our climate zone the best house design employs a mix of lightweight and solid construction. As previously described the solid construction provides what is called thermal mass, whereas lightweight construction provides ventilation. Since lightweight construction only mimics the external temperature it cannot store heat, therefore some thermal mass is required.

CONSIDER ENERGY

Global warming is now a design issue at all levels of society. Governments are legislating on energy consumption by way of the Building Code of Australia (BCA) and local authorities have been doing so (informally) for some time. This will therefore require you to rate your design to meet prerequisite ratings. This may sound ominous, however common sense in the design phase is the most important tool. There is a five finger rule of issues to consider:

1. Orientation
2. Thermal Mass
3. Sun Control
4. Ventilation
5. Insulation

By ensuring that these issues are all addressed in a logical and simple way, you should achieve your rating level. Remember that the more sustainable your design is now the more sustainable your investment will become. See diagram on left.

CONSIDER PRIVACY

Privacy is a two way consideration and therefore very important.

- Sight lines should be restricted to a minimum to achieve this
- Window positions should be offset from existing neighbours
- Screens, recessed windows or fins should be employed to maintain this privacy
- Windows generally should orient to the front or the rear of a site
- Recreational areas should be screened with appropriate landscaping

PART 1

GENERAL GUIDELINE CONDITIONS

DESIGNING YOUR HOME

Whilst the complete range of dwelling types in the Royal Pines West include:

- **Detached** (including zero lot line)
- **Attached** (eg. Duplex)
- **Attached** (eg. Townhouse)
- **Apartments**

It must be remembered that Lots designated for DETACHED dwellings are for strictly single residential use only and will remain so. No multiple dwellings will be permitted on designated DETACHED lots at any time. However, this does not preclude the amalgamation of two single lots into one larger one provided the use remains as DETACHED. You may wish to extend the single residential use to include a small studio apartment (above a garage for example). This will be permitted provided it is approved by the Council as there are specific requirements relating to size and a renewable approval period.

Since a lot of care has been taken to simplify the approval process, it is important that all development conform to the Architectural Guidelines prior to submission to Council for building approval. It is also vitally important to understand that once you have settled on the land there is a requirement to build within a nominated period. This includes a maximum period of 12 months from settlement to construction starting and after that a maximum construction period including landscaping of 12 months.

CONSIDERING YOUR NEIGHBOURS

Mutual respect and good manners between neighbours is vital and generally easy to maintain. By observing the following you will be making a valuable contribution.

- Empty Lots should be kept mowed at least every two (2) months
- Prior to and during construction, your Lot should be kept clean and tidy and any damage should be repaired
- 'For Sale' signs must be restricted to one (1) per Lot
- Site development must not interrupt nor restrict pedestrian or vehicular traffic
- Builders must not allow animals on site
- Noise disturbance, including loud music, is to be avoided at all times
- The supply of electricity to any Lot is to be independent of neighbours
- Builders toilets must be remote from the front street
- Rubbish is to be removed on a regular basis and completely removed one month after completion

GENERAL BUILDING/ SITE REQUIREMENTS

SITE COVER

The maximum permissible site cover for each Lot is 50%. The definition of Site Cover can be simply thought of as the vertical shadow of the roof plan on the ground.

LANDSCAPE OPEN SPACE

This includes soft and hard landscaping, pools etc., and must represent a minimum of 40% of the site area.

MINIMUM SIZE OF DWELLING

To preserve a consistent measure of property value, the minimum permissible plan area for a dwelling shall be 220m². This includes a double garage or carport and deck structures. The minimum net living area permissible is 180m².

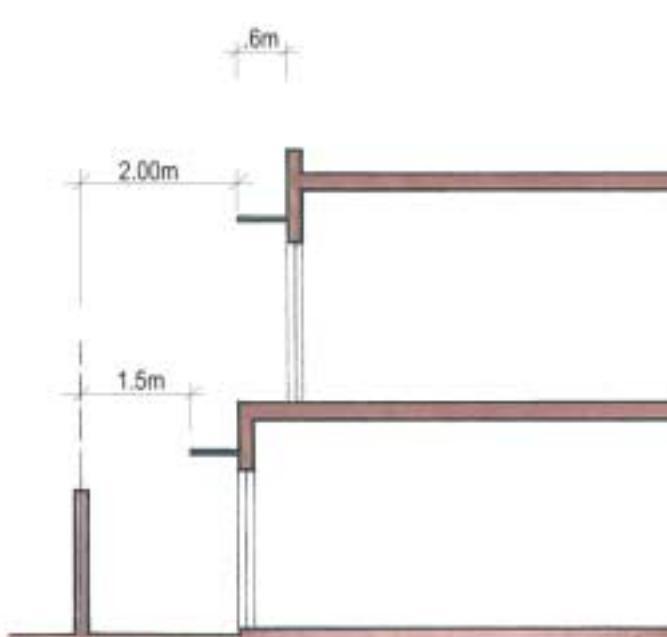
FORM

Streetscapes are created by landscaping and architecture. The architecture is impacted by the roof form and this



DESIGNING YOUR HOME

SIDE BOUNDARY SETBACK



in turn is characterised by its shape, the roof material and their colour. By its nature, a roof provides both solar protection and acts as solar collector.

Overhangs provide solar protection to walls.

Light colours or heat reflective paints provide the initial protection against radiant heat into the roof space and a north facing roof provides appropriate locations for solar collectors.

CARPARKING

All dwellings are required to provide for 2 covered car spaces and 2 visitor parking spaces within the lot boundaries.

FRONT AND SIDE BOUNDARY SETBACKS

- Consideration has been given to the proximity of adjacent dwellings with regard to their building mass and the overshadowing that results
- The Building line setbacks from boundaries shall be measured from the boundary to the outermost projection of a fascia of the structure
- The side boundary setback is to be a minimum 1.5 metres on the ground floor and 2 metres on the upper floor
- The front boundary setback shall be a minimum of 3 metres in all cases with the exception of corner lots with a secondary street

CORNER LOT SETBACKS

Where a lot has 2 street frontages the setback to the secondary street is only required to be as per side boundary setbacks described above. You may wish to carefully consider which street is your address as this will be considered as the front alignment and attract a 3m setback requirement.

REAR BOUNDARY SETBACKS

The minimum rear boundary setback is 6 metres to all lots except those which have a 10 metre setback buffer to:

- Nerang River
- Ashmore Road
- Reed Street
- Western Property Boundary

in which case the building setback will also be 10 metres.

In some cases there is provision to modify the 6 metre

setback. You may wish to refer to the fencing section for the relevant information to evaluate your situation.

OVERHANGS

Overhangs are a vital component for energy management and should be designed for all dwellings. The minimum overhang requirement is 0.6 metres. However, where overhangs do not occur in your design, all windows will require hoods as all windows will require some shading. This will also assist in achieving energy ratings.

PERGOLAS AND OTHER SHADE STRUCTURES

No setback requirements apply to pergolas or similar structures provided they are integral with the dwelling and a maximum of 2.4m high.

BUILDING HEIGHTS

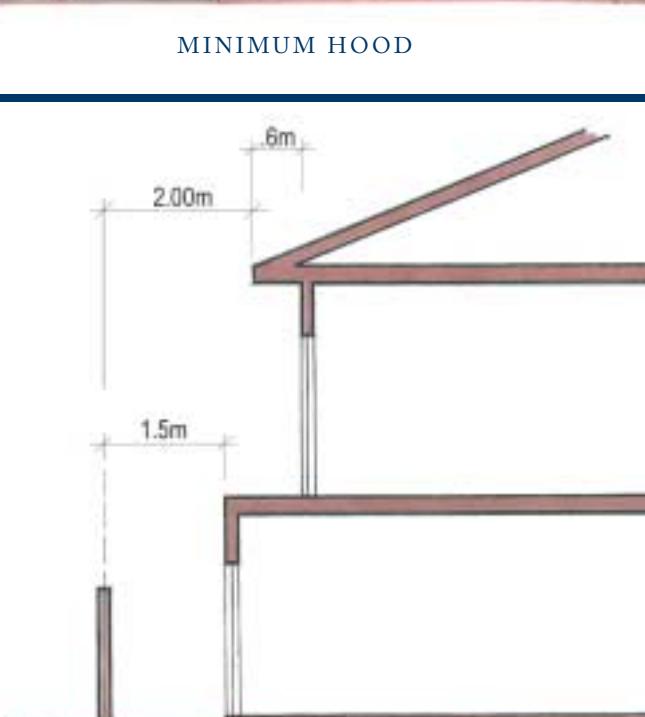
A maximum of two (2) stories is permitted over the entire site. The maximum building height for a single detached dwelling of 2 storeys is 8.5 metres above the existing ground level. The maximum height of a single storey dwelling is 5.5m to Lots along the North edge of the Golf Course that have a one storey restriction. This has been established to protect the overview of elevated lots behind them. You should ensure that you are aware of all these Lots. Should any architectural features including chimneys project beyond this height, then the DRC will evaluate them on merit.

STEPPED DWELLINGS

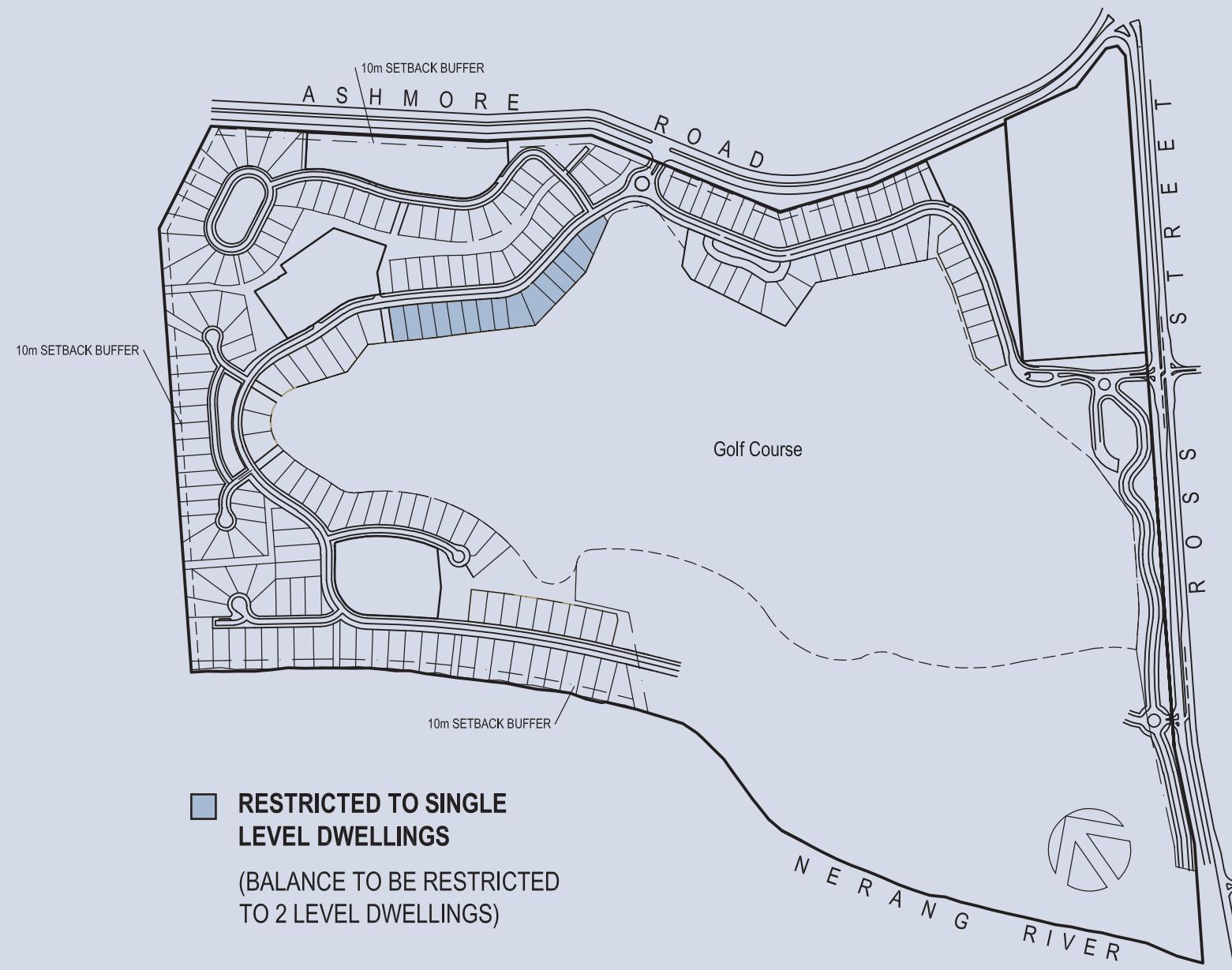
If the height of the walls of a single detached dwelling are stepped back from the boundary at all, then each step will be considered as though it were separate.

DECKS

Where decks project over the sloping banks around the Golf Course, River Bank or Park areas they must be supported on posts. This is important to soften their visual impact. If the sides are to be enclosed then it should be with battens or similar material designed to blend with the landscaping. Solid retaining walls will not be approved.



HEIGHT CONTROL PLAN





BUILDING MATERIALS AND COLOURS

BUILDING MATERIALS AND COLOURS

EXTERNAL CLADDING

The expressed character envisaged for Royal Pines Resort incorporates a mix of light and heavy weight materials. These should be carefully considered with respect to maintenance, energy efficiency and compatibility with the architectural design intent. The following materials and finishes represent those that will promote the image of quality dwellings and they should predominate.

Masonry, either:

- rendered and painted or
- bagged and painted
- textured render or similar (on proprietary sheeting)
- integrally finished surface

Timber as limited accents only:

- painted
- stained

Brickwork:

- This is restricted to 10% of the visible surface if unpainted

Stone as limited accents only:

- natural
- reconstructed

Metal Cladding:

- natural metallic colours (dull finish) as limited accents only.

Other finishes will be assessed by the DRC.

Garage doors to be of panel type material and design and finishes to be natural (timber metal) or colours complementary to the dwelling.

The following finishes are not permitted:

- colorbond steel cladding to walls
- weather boards or chamfer boards

ROOFING

In keeping with contemporary design, roof pitches tend to be lower and in some cases flat. The character envisaged for Royal Pines West requires a roof pitch to be no more

than 22%. The minimum pitch of any roof must of course conform to that prescribed by the manufacturer. All roof designs will be evaluated by the DRC to maintain the best overall streetscape.

The roof materials have been pre determined by the established Royal Pines Resort character. This character is to be maintained by using a similar roof treatment and colour. The roof materials shall therefore be restricted to colorbond or similar metal roof cladding. Highly reflective finishes or unfinished surfaces do not conform to the appropriate Royal Pines character.

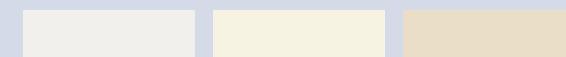
However, if you feel you have a design that requires special consideration with regard to roof material then the DRC will consider such materials on their merit, prior to submission for design approval.

All roof penetrations, guttering and down pipes should complement the colour scheme.

- Solar panels should be flat panels, either surface mounted or better still, integrated into the roof sheeting
- Storage tanks are not permitted on the roof and should be located inside the house or roof space
- No other plant fixtures or equipment will be permitted on the roof

Roof forms generally will be considered on their merit.

BUILDING

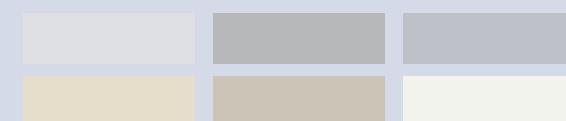


Suggested wall colour range



Suggested trim and highlight colour range

ROOFING



Range of tones

BUILDING COLOURS

Royal Pines Resort is characterised by buildings that are light coloured and set in a landscaped environment. This lightness of colour is to be maintained by promoting roof colours that are white or within the general range of the colour palette indicated and the general building colours are of the lighter shades of "earth" tones. These are best illustrated in the colour palette to give you some guidance as to what this means. Whilst the predominate shades are light, accents will provide variety. Care should be taken to ensure the colour theme extends to any external structures such as decks, pergolas, fences etc., as these should complement the colours of the dwelling. Materials that are highly reflective or mirrored are not compatible and will not be acceptable to the DRC.

Colours are a critical element in any design and it may take some time before you settle on a final scheme. However, the colours submitted with the final plans will be considered as the actual colour scheme. If you need to change these after approval then you will have to seek further approval from the DRC.

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GENERAL BUILDING GUIDELINES

- To simplify the approval process it is very important that all construction documents and subsequent building works be in strict accordance with the original design approval
- Remember that before a residence can be occupied, a building permit must be issued by either the Council or a private certifier
- Consideration has been given to the problems of undeveloped land lying vacant for long periods. To resolve this for the benefit of everyone, a timeframe has been developed. This means that once you have purchased the land it is required that you begin building within 12 months and that construction be completed within a further 12 months. This time frame also includes landscaping.

- For the amenity of the neighbourhood, building work will be restricted to the hours between 7.00am and 5.00pm weekdays and 7.00 am to 3.00 pm Saturdays. No work will be permitted on Sundays or Public Holidays.
- All residences will be required to have building contractors registered with the Queensland Building Services Authority

REMOVAL OF SOIL

The Lot levels of Royal Pines Resort have been carefully constructed in accordance with the Council Hydraulics policy. Soil levels could affect this and so it is not permissible to remove any soil except for the normal foundation requirements. Any intention to import substantial fill must be identified at the design approval stage.

SUPPLIERS

Your security is an important issue during the construction phase. To assist you in this matter, you may be required to provide a list of your suppliers with the DRC.

SIGNAGE

During construction only one (1) builders sign is permitted at the front of your Lot. The size needs to be approved by the DRC.

GOLF BUGGIES

If you intend to garage a golf buggy on your Lot, then the garage/carport must be designed in such a way as to be compatible with and integrated into, the design of the dwelling.

DRIVEWAYS AND CROSSOVERS

Since the streetscape enhances everyone's address, it is vitally important to preserve a high standard of design. The landscaping to the front yard and the materials chosen for driveways contribute to this.

With the exception of those precincts that include 'built to the boundary allotments' where the driveway location may be predetermined, crossover locations could be affected by the location of services and street trees. You should check this prior to finalising your design and to assist you further, information will be made available upon request.



DRIVEWAYS AND CROSSOVERS



LANDSCAPING



The crossovers will have to comply with the approved design and generally be of the same material as the driveway.

There are controls over the types of materials and the quality and installation must be of the highest quality. The range of acceptable materials may include:

- Stone pavers
- Clay pavers
- Concrete (precast) pavers
- Coloured concrete
- Exposed aggregate or combination tile and aggregate

If you wish to have other types of materials within your property boundary, (such as crushed granite) then you will be required to consult the DRC. The range of unacceptable materials has more to do with either aesthetics and/or durability over time when deterioration may occur. Stamped, stencilled pattern or plain concrete are also not acceptable.

LANDSCAPING

The Royal Pines Resort landscape helps define the overall character of this master planned resort community. Individual residential gardens when viewed together help create this character along with the golf course, parks, streetscape works and major facilities.

VISION

The landscape vision for Royal Pines Resort is to implement a quality, lush, well maintained coastal landscape within an established, resort setting. Golf Course, River and Marina glimpses from public areas form an important part of this visual setting.

Private residential gardens should build on this vision and ensure that the layout responds to our outdoor lifestyle. Ample room for entertaining, a well considered design for climatic conditions and a safe and secure home setting will ensure that the home owner maximises the enjoyment and usability of their private garden.

PLANTING

Plant species that would contribute positively to the overall resort setting for Royal Pines Resort and that are suited to local conditions have been listed below:

DEFINING PRECINCT CHARACTER

Plant species selection within residential lots adds an important dimension to the overall landscape qualities within Royal Pines Resort. Subtle changes in planting character through the use of 'signature' species can greatly assist defining each of the four character precincts within the estate (refer plant schedule).

- **Park:** Vibrant shade trees such as Poincianas, Frangipani, and Crepe Myrtle with a red to light pink colour range have been selected for this precinct
- **River:** Lush, river edge planting best suits this precinct such as groups of Alexander Palms, Cabbage Tree Palms and other local riparian species
- **Golf:** Broad shade trees such as the Yellow Jacaranda will provide a strong edge to the course, interspersed with groups of stately Phoenix palms
- **Hill:** Given the prominent, elevated position of this precinct the guidelines nominate bold, distinctive species including Flame Trees and Jacarandas that are visible from afar when in flower

Where possible the DRC encourages residents to use these species in their nominated precincts as a way to reinforce this broader landscape aesthetic.

TIMING AND MAINTENANCE

The external environment is as important as the house in generating streetscape character. As such all landscape works approved by the DRC are to be installed to the nominated timing schedules. Garden areas, particularly those seen from the street, golf course or other public areas should be maintained to a high level. The inclusion of an irrigation system is highly recommended to ensure that the resort is kept looking its best at all times of the year.

BOTANICAL NAME	COMMON NAME	PREFERABLE MINIMUM POT SIZE	SIGNATURE SPECIES PRECINCTS
TREES & PALMS			
<i>Archontophoenix alexandrae</i>	Alexander Palm	25L	River
<i>Brachychiton acerifolius</i>	Flame Tree	25L	Hill
<i>Cupaniopsis anacardioides</i>	Tuckeroo	25L	
<i>Cyathea cooperi</i>	Tree Fern	25L	
<i>Delonix regia</i>	Poinciana	25L	Park
<i>Elaeocarpus reticulatus</i>	Blueberry Ash	25L	River
<i>Grevillea spp.</i>		25L	
<i>Harpulia pendula</i>	Tulipwood	25L	Park
<i>Howea forrestiana</i>	Palm	25L	
<i>Hymenosporum flavum</i>		25L	
<i>Jacaranda mimosifolia</i>	Jacaranda	25L	Hill
<i>Lagerstroemia speciosa</i>		25L	Park
<i>Livistona australis</i>	Cabbage Tree Palm	45L	River
<i>Macaranga tanarius</i>		25L	
<i>Peltophorum pterocarpum</i>		25L	Golf
<i>Phoenix canariensis</i>	Canary Island Palm	45L	Golf
<i>Plumeria obtusa</i>	Evergreen Frangipani	25L	Park
<i>Syzygium spp.</i>	Lilly Pilly	25L	
<i>Washingtonia robusta</i>	Washington Palm	25L	
<i>Waterhousia floribunda</i>	Weeping Lilly Pilly	25L	River
<i>Xanthostemon confertus</i>		25L	

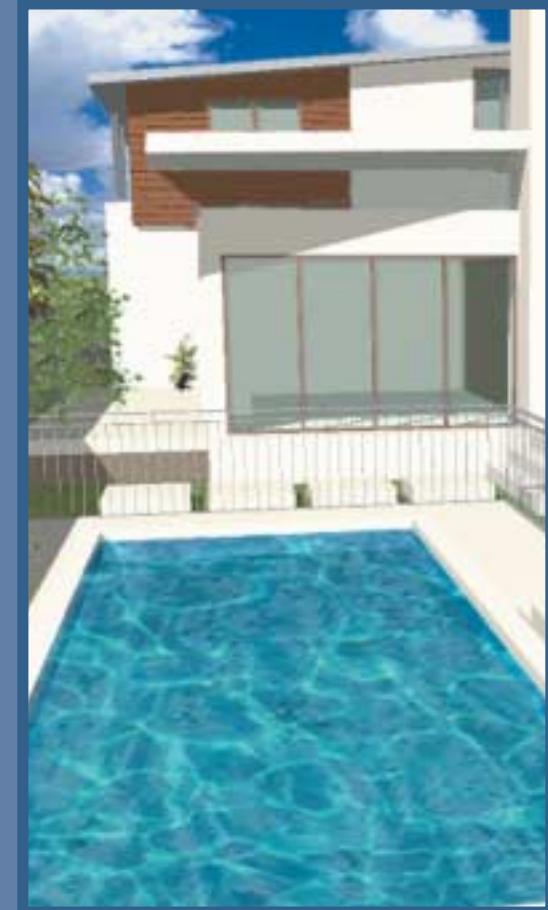




THE LANDSCAPE VISION FOR
ROYAL PINES RESORT
IS TO IMPLEMENT A QUALITY, LUSH,
WELL MAINTAINED COASTAL LANDSCAPE
WITHIN AN ESTABLISHED,
RESORT SETTING.
GOLF COURSE, RIVER AND
MARINA GLIMPSES FROM PUBLIC
AREAS FORM AN IMPORTANT PART
OF THIS VISUAL SETTING.

BOTANICAL NAME	COMMON NAME	PREFERABLE MINIMUM POT SIZE	SIGNATURE SPECIES PRECINCTS
SHRUBS			
<i>Alpinia</i> spp.		140mm	River
<i>Austromyrtus inophloia</i> blushing beauty	'Blushing beauty'	300mm	
<i>Chamaedoraea seifrizii</i>	Parlour Palm	140mm	
<i>Cycas revoluta</i>		140mm	Park
<i>Dracaena</i> spp.		140mm	
<i>Gardenia</i> spp.		140mm	Park
<i>Grevillea</i> spp.		140mm	Hill
<i>Heliconia</i> spp.	Heliconia	300mm	River
<i>Melaleuca armilaris</i>		140mm	
<i>Metrosideros</i> spp.		200mm	
<i>Phormium</i> spp.		140mm	
<i>Strelitzia</i> spp.	Bird of Paradise	140mm	
<i>Syzygium</i> spp.	Lilly Pilly	140mm	
<i>Viburnum</i> spp.	Viburnum	140mm	
<i>Westringia fruticosa</i> Wynyabbie Gem	Native Rosemary	140mm	Golf
<i>Zamia</i> spp.	Cycad	140mm	
GROUNDCOVERS, CLIMBERS, VINES & NATIVE GRASSES/TUFTED PLANTS			
<i>Agapanthus</i> spp.	African Lily	140mm	
<i>Asplenium</i> spp.		140mm	
<i>Baumea</i> spp.		140mm	
<i>Calathea zebrina</i>		140mm	
<i>Curculigo capitulata</i>		140mm	

BOTANICAL NAME	COMMON NAME	PREFERABLE MINIMUM POT SIZE	SIGNATURE SPECIES PRECINCTS
GROUNDCOVERS, CLIMBERS, VINES & NATIVE GRASSES/TUFTED PLANTS (Cont)			
<i>Cordyline</i> spp.		140mm	
<i>Crinum pedunculatum</i>		140mm	River
<i>Dianella</i> spp.		140mm	River
<i>Dieteria</i> spp.		140mm	
<i>Doodia aspera</i>	Rasp Fern	140mm	
<i>Doryanthes excelsa</i>	Spear Lily	140mm	Hill
<i>Gardenia</i> spp.		140mm	Park
<i>Grevillea</i> spp.		140mm	Hill
<i>Heliconia</i> spp.		140mm	
<i>Hymenocallis littoralis</i>	Spider Lily	140mm	Park
<i>Isolepsis nidosa</i>	Knobby Club Rush	140mm	
<i>Juniperus conferta</i>		140mm	
<i>Liriope</i> spp.		140mm	
<i>Myoporum</i> spp.		140mm	
<i>Ophiopogon</i> spp.		140mm	
<i>Lomandra</i> spp.	Mat Rush	75mm	
<i>Poa</i> spp.	Native Grass	75mm	Golf
<i>Rhoeo discolor</i>		140mm	
<i>Spathiphyllum</i> spp.		140mm	
<i>Trachelospermum jasminoides</i>	Chinese Star Jasmine	140mm	





LEISURE EQUIPMENT & FACILITIES

PLAY EQUIPMENT

Any play equipment must be positioned away from a neighbours property by at least 1.5m on the side boundary and 2.5m from the rear boundary to respect their privacy.

SWIMMING POOLS

Pools and spas are not generally encouraged in the setback between the front alignment and the dwelling. However, where a design relies on this for its integrity, the DRC will consider it. The side and rear boundary setbacks of pools must conform to Council requirements. They must be of sound in-ground construction and be geotechnically checked, especially on slopes and areas adjoining the Golf Course, River Bank and any water bodies. They should also be screened from public view and located to respect neighbours privacy. Of course they must also conform to the relevant pool fencing laws. Where a pool is constructed in a flood zone such as the back of the Golf Course or River, they must not project more than 1m above the established flood level unless the volume of the pool above that level is balanced by a contribution (excavation) to the flood storage of a similar volume.

The noise of pump equipment can be a nuisance and so all machinery and equipment must be housed in such a way it does not disturb neighbours.

TENNIS COURTS

You may be thinking of purchasing a second Lot so you can enjoy a tennis court. This is quite acceptable, however it does require some consideration. The positioning of any court requires a minimum setback from any boundary of 3m, or 2m with dense landscaping sufficient to hide the court up to 3.0m above the ground. The court should likewise be satisfactorily screened from the public (street) and the neighbours amenity must be respected with an appropriate acoustic fence. The actual fence around the court must be no higher than 3m and be black PVC chain wire with matching posts.

If you intend to floodlight the court, then:

- They must conform with minimum Council requirements
- Have approval from the DRC
- Have the Council approved town planning application for private recreation
- Produce a maximum illumination of eight (8) lux when measured at any point 1.5m outside the site from the ground up to a height of 10m

OTHER STRUCTURES

GARDEN SHEDS

Whilst these are permissible, they must be discreetly located at the side or rear of the property, be painted to complement the colour scheme and be constructed of compatible materials with your dwelling.

CLOTHES LINE

Whilst they will be preferably located to suit the best orientation, they must be discreetly positioned so as not to be visible. Screening is the best solution, or on a wall, lower than adjoining fence heights.

TEMPORARY STRUCTURES

Any temporary structure related to the dwelling must be located toward the rear of the site.

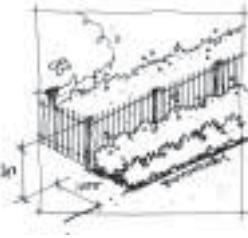
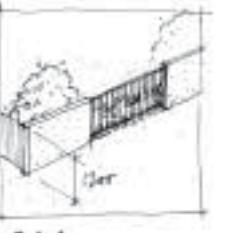
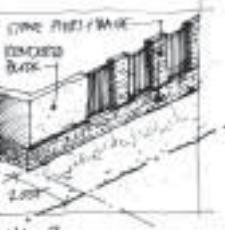
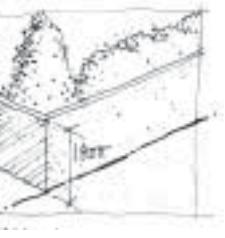
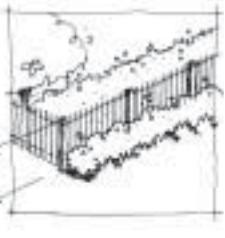
SHADE DEVICES

Sails and fabric awnings provide solar screening and privacy. They also contribute to energy conservation. Their benefits must be balanced with the aesthetics of their location and for this reason they must be integrated with the architecture of the dwelling and the overall colour scheme and be restricted to the side and rear yards. They must be of premium quality durable material.

PLANT AND EQUIPMENT

Plant and equipment must be installed with sufficient drainage to prevent staining on walls or paving.

FENCE TYPE PLAN

FENCE OPTIONS WHERE PERMISSIBLE					
It may assist you by referring to the Key Plan which identifies the various types of fences required in the different locations of each Precinct.					
	TYPE 1 TRANSPARENT	TYPE 2 MIN 50%TRANSPARENT	TYPE 3 MIN 50%TRANSPARENT	TYPE 4 SOLID	TYPE 6 TRANSPARENT
Suggested Models					
18 Maximum Height	1200mm	1200mm	1800mm	1800mm	1200mm
Construction Materials	<ul style="list-style-type: none"> • Metal 	<ul style="list-style-type: none"> • Stone • Masonry • Shrubs / Hedge 	<ul style="list-style-type: none"> • Stone • Masonry • Metal • Hedge / Shrubs 	<ul style="list-style-type: none"> • Masonry • Stone 	<ul style="list-style-type: none"> • Metal
Finishes	<ul style="list-style-type: none"> • Powder coated black or dark colour to suit dwelling colour 	<ul style="list-style-type: none"> • Painted Render • Natural Stone 	<ul style="list-style-type: none"> • Natural Stone • Painted Render • Powder Coated 	<ul style="list-style-type: none"> • Painted Render 	<ul style="list-style-type: none"> • Powder coated black or dark colour to suit dwelling colour
Minimum setback from Front alignment	1.0 metre	N/A	2.0 metres	N/A	N/A



ACCESSORIES

LETTER BOXES

These are preferably located on the right hand side when viewed from the house toward the street. They will need to be well designed and integrated with the dwelling design. The street number should be legible and integrated with the letter box and preferably be illuminated.

FLAGPOLES

Flagpole design and location must be lodged with the DRC for approval.

INSECT SCREENS

Insect and security screens are contemporary accessories and yet should be as unobtrusive as possible. A black colour scheme will promote this.

EXTERIOR LIGHT FITTINGS

All exterior light fittings should be located with consideration for your neighbour so they do not cause nuisance nor affect their amenity. The style and colour should be as neutral as possible and match the colour scheme of the dwelling.

SECURITY

Royal Pines Resort residents have always enjoyed an entry security system. It is intended to expand this into the Western Precinct via an integrated system that can be accessed from each dwelling. This will require each dwelling owner to install the appropriate answer station and connect to the street cabling.

TV ANTENNAS/ DISHES/AERIALS

These items can create visual intrusion and diminish the quality of roof scapes when viewed from thoroughfares or open space such as the Golf Course. For this reason they must not be located on a roof and must be positioned so they are not visible from any thoroughfare or from neighbouring Lots.

FENCES

Fences are a highly visible urban design element. Not only do they separate properties, but they also link them together as a community.

- They are therefore best constructed in accordance with the Guidelines, bearing in mind that flexibility has been built in to accommodate your specific designs and your Lot in particular as far as possible. Fences must also be constructed of the best materials and be compatible with the materials and colour scheme of your dwelling, unless required otherwise by the Guidelines.
- You should also consider your neighbour if you have one when you build. The colours and materials should blend rather than compete.
- Fences of chain link or sheet metal, are not considered compatible with the character of Royal Pines and will not be approved
- It is a mandatory requirement, for safety reasons, that owners of all lots bordering the golf course must construct a 1.2m high Type 1 fence on the boundary with the golf course. This also includes any side fences that border open space leading to the golf course. Construction of all fencing must be complete prior to occupancy.
- All fence designs will require assessment by the DRC

FRONT FENCES

The front fence policy developed for Royal Pines is intended to enhance the streetscape by blending the private landscape as much as possible with the street. To achieve this, the front fence line is the 3m building setback line of the dwelling. However, there are some Lots with the street to their north and dwelling designs on these Lots may require some pools or active recreational space oriented to the north. In cases such as this, the DRC may use its discretion to approve such front fences where it can be demonstrated that they are an integral part of the dwelling design. In such cases one of two (2) options may be considered. Gates and return fences within the property will be permitted provided they complement the front fence. Please refer to the table describing fences, for more information regarding materials etc.

Option A

A type 1 fence, transparent, 1.2m high, 1m back from the front property boundary with minimum 1m high landscaping in the setback. Maximum length, 60% of frontage.

Option B

A type 3 fence, 50% solid, 1.8m high and 2m back from the front property boundary. The setback is to be landscaped with a minimum of 1.2m high planting. Maximum length, 60% of Frontage. Please refer to the table describing fences.

Recognising that where front fence setbacks are approved they will result in a reduction of the depth of the front yard. To compensate for this, a corresponding reduction of the rear setback will be permitted, however this reduction may not be possible in all Lots, as some rear setbacks have embankments. The DRC will need to assess all front fence requirements on merit.

SIDE FENCES

In order to maintain a high quality landscaped environment, the side fences between properties should be uniform. For this reason all fences in this location and for the length of the boundary between the front and rear building setbacks are to be solid rendered masonry. If a fence already exists, then you will be required to fully render any unfinished surface.

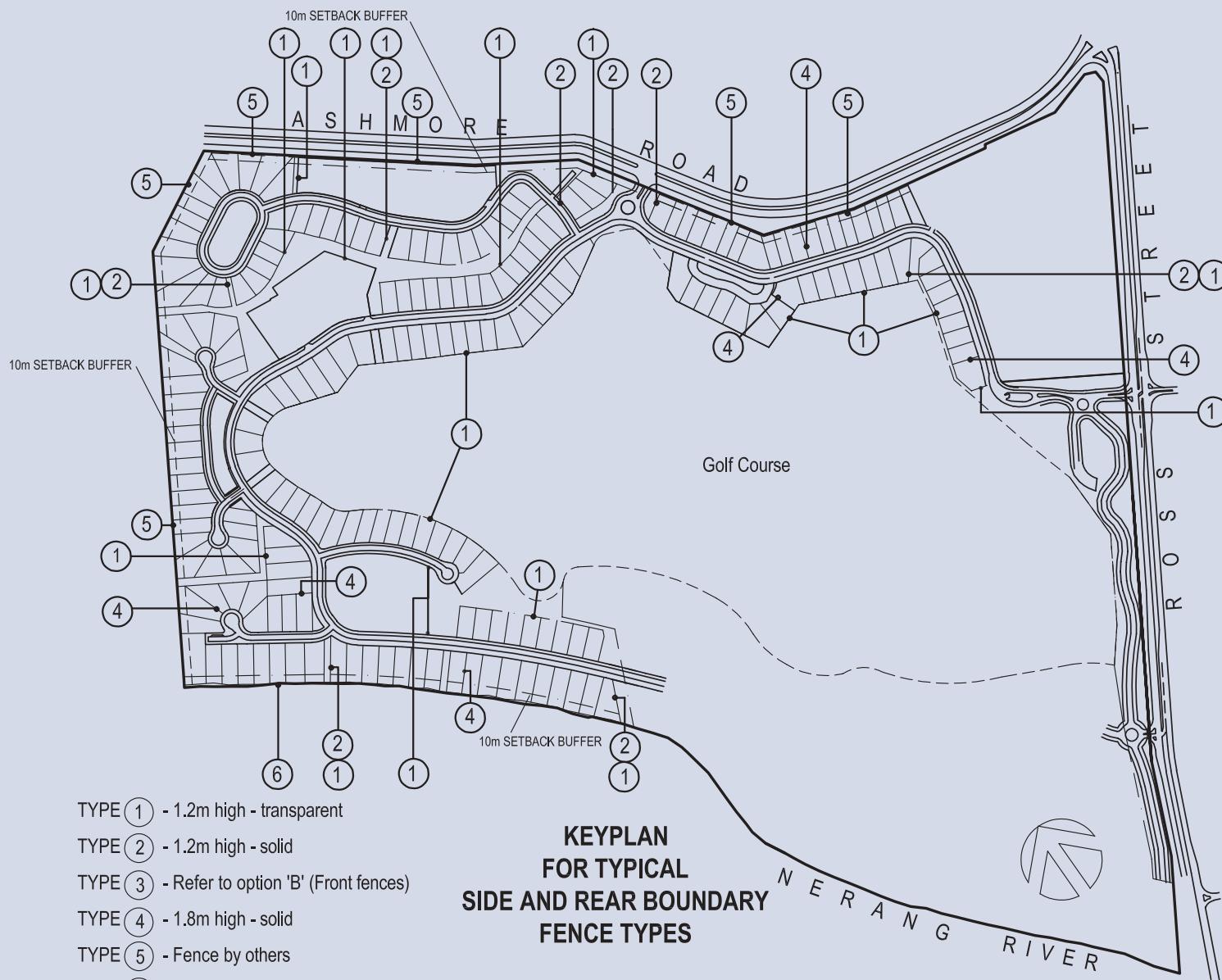
The remaining panels of fence from the building set backs to the property boundaries, will reflect the design of the front or rear fence. If the side fence is higher than the front or rear fence, then the transition or tapering of the fence must begin at the building set back line. The 'Key Plan' table for side and rear fence types will assist you in understanding the requirements relating to your Lot.

REAR FENCES

The rear fences are as visually important as the front fence when seen from the Golf Course, River or Parkland. They must also preserve sweeping views over these areas. For these reasons they have been carefully considered. Reference to the Key Plan will identify where and how your Lot relates to these areas. The Hill Precinct backs on to Ashmore Road and Reed Street as well as on to private properties to the western

FENCE CONTROL PLAN

20



TYPE 1 - 1.2m high - transparent

TYPE 2 - 1.2m high - solid

TYPE (3) - Refer to option 'B' (Front fences)

TYPE 4 - 1.8m high - solid

TYPE **5** Encroachment

TYPE 1.0 1.1 1.2

TYPE (6)
NOTE:

NOTE: TYPE 102 INDICATES OPTIONAL

KEYPLAN FOR TYPICAL SIDE AND REAR BOUNDARY FENCE TYPES



boundary. A fence will be constructed by the developer along Ashmore Road and Reed Street as part of the infrastructure and so a rear fence is not required to be constructed by the dwelling owner in these locations. The existing rear fences abutting neighbouring properties to the western boundary will remain in place and so future fence considerations to this boundary will remain an issue between neighbours. However, where the rear of Lots abut open spaces, then the fence must be a Type 1 or in some instances Type 2 (Refer Fence Option Table) in order to preserve the visual amenity. Similarly, fences abutting the Golf Course and the River must also have Type 1 fences. This is not only to preserve views for the owners of these Lots but also to preserve the landscape views for neighbours.

DETACHED DWELLING (ZERO LOT LINE LOT)

Zero Lot Line or 'Built to the Boundary' dwellings are another form of detached dwelling. The General Guidelines also apply to these dwellings except for the following specific variations.

BUILDING LOCATION FORM AND DIMENSION

MINIMUM SETBACKS

'Built to the Boundary' side boundary

- 20-50mm for the ground floor for a maximum of 50% of its length
- 2m for the remaining 50% of the ground floor
- 2m for the first floor

OTHER SIDE BOUNDARY

- 2m for the Ground Floor
- 2m for the First Floor

BUILDING HEIGHT

The maximum building height from ground level to the highest point of projection of a zero lot line dwelling shall be:

- 4.5m on the 'Built to the Boundary' or at any point within 2m of the neighbour to that boundary
- 8.5m elsewhere

GENERAL BUILDING GUIDELINES REFER GENERAL GUIDELINES

- Care must be exercised if you wish to remove any existing fence necessary for the construction of your Zero Lot Line dwelling. Any damage to a neighbour's property becomes your responsibility and likewise you must protect and preserve the structural integrity of your neighbour's property against any such damage.
- If your courtyard abuts a neighbour then minimum screening (planting or fencing) must be provided up to 1.8m high
- A side fence is not required for that portion of the 'Built to the Boundary' occupied by the dwelling
- Fence colours must complement the dwelling colour scheme
- Fences must also be geotechnically and structurally sound

PART 2

ATTACHED DWELLING

(DUPLEX)

(The General Guideline Conditions apply to Duplex dwellings except for the following specific variations)

BUILDING LOCATION, FORM AND DIMENSIONS

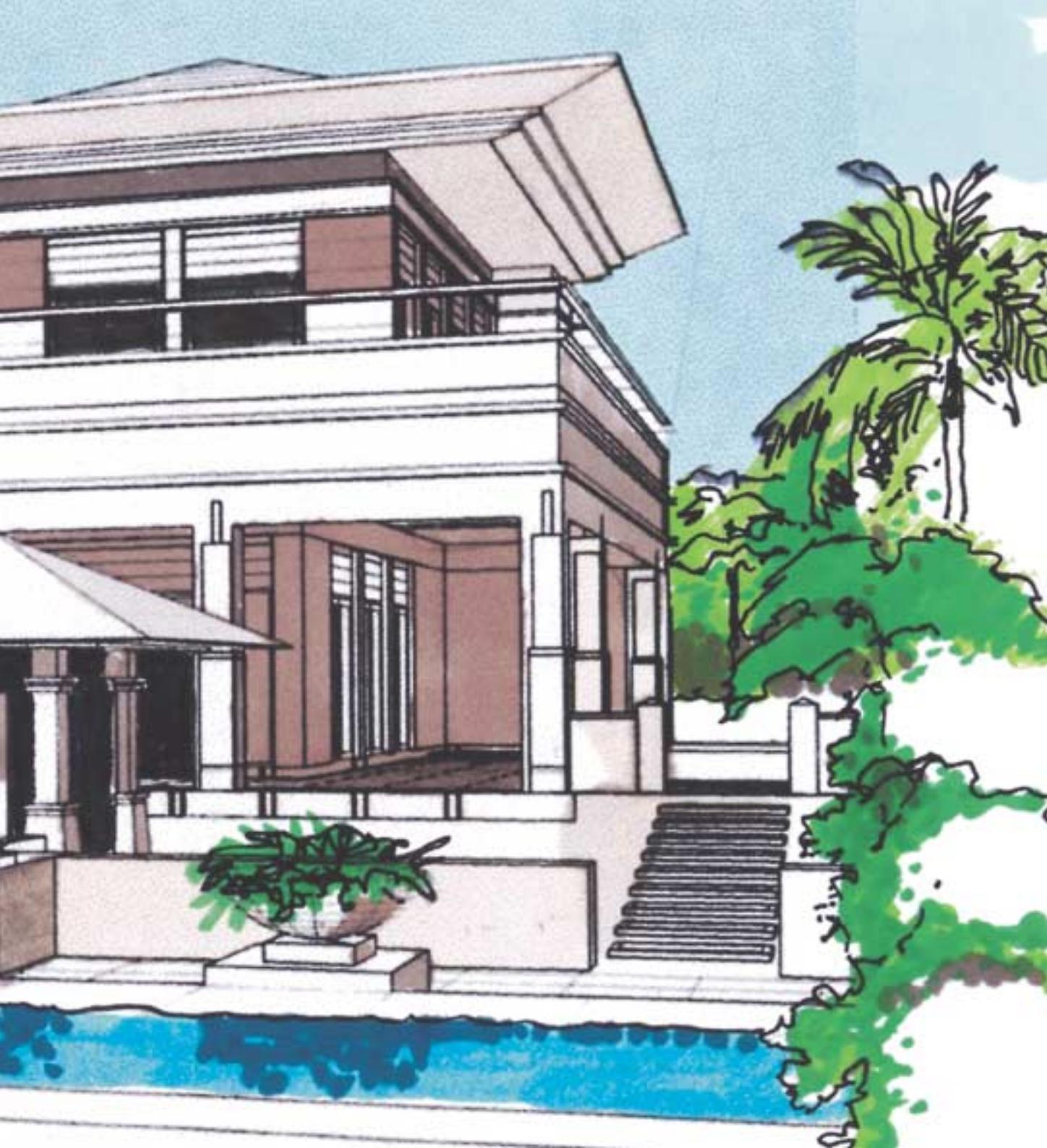
- Building Setbacks and Heights shall apply to Duplexes as though they were one dwelling
- Common Walls between Duplex units will, of course, have to comply with the required acoustic and fire separation

GENERAL BUILDING GUIDELINES

If you are considering a Duplex site you should first check the Site Plan where specific Duplex sites have been identified and discuss it with the DRC to ensure its current appropriateness.

- Corner sites in particular are suitable for Duplex dwellings as driveways can have separate addresses. Sites not on a corner may require combined driveways. However, where a frontage is wide enough and separate driveways are possible, they should be kept close to the neighbours on either side.





PART 3

ATTACHED DWELLING

(TOWN HOUSES)

(The General Guideline conditions apply to Town Houses except for the following specific variations)

The attached Housing Lots are available in various Lots as indicated on the Master Plan. The form of these dwellings should be stepped and articulated in plan and section to create visual interest and preserve a residential scale.

The number of Town Houses forming a continuous building must not exceed four (4) dwellings to preserve privacy. The windows of habitable rooms should not face directly, nor be within nine (9) metres of another dwelling. To maintain design consistency all courtyards and fencing providing privacy, will be required to complement the dwelling design.





DESIGNED WITH PURPOSE,
DESIGNED FOR LIVING –
ROYAL PINES RIVERSIDE
FOLLOWS A MASTER PLAN
TO CREATE ONE OF AUSTRALIA'S
FINEST LIFESTYLE PRECINCTS.
EVERY ASPECT IS DESIGNED
TO TAKE ADVANTAGE OF
ITS SURROUNDING ENVIRONMENT.
THE LAKES, THE PARKS,
THE FAIRWAYS AND THE RIVER
COMBINE TO BUILD A
UNIQUE OASIS IN THE HEART
OF THE GOLD COAST.

PART 4

SPECIFIC GUIDELINES FOR APARTMENTS

(The General Guideline conditions apply to Apartment Buildings except for the following specific variations)

BUILDING LOCATION FORM AND DIMENSIONS

- Private landscaped open space should be thoughtfully planned and maximised with northerly aspect and open space functions clearly defined
- Of the private open space provided, an area of at least 25m² should be provided that is directly accessible from living areas with one dimension, a minimum of 4 metres
- Screening is essential to ensure privacy to users of the open spaces. Where habitable rooms face each other, the distance separating them should be:
 - 9 metres on ground level
 - 12 metres on upper floors
- The length of wall facing the street for any building, must not exceed 15 lineal metres unless it is articulated eg. Or stepped by a minimum of 1 metre. This may be achieved with balconies, verandas or wall offsets. The maximum height permissible is three (3) stories.
- Overhangs are promoted to provide solar protection and energy savings

It is important that dwellings be sited and oriented in such a way that over shadowing of the neighbours private open space does not occur. Should an issue arise regarding this, shadow diagrams may be required and the DRC will exercise its discretion to determine approval.

ROADS AND DRIVEWAYS

It is important to maintain high quality of roadways, crossovers and driveways within medium density sites. To achieve this, the following selections of finishes are acceptable:

- Finished Concrete
- Asphalt
- Exposed Aggregate
- Concrete Pavers

Harmonious combinations of the above may further improve the aesthetics of the finished surface. Unsealed or plain concrete are not acceptable.

Visitor parking will be required to conform to authority requirements.

Minimum turning radii for trucks (removal) will most likely be required and should be taken into account in the layout of roads.

Provision should also be made for garbage storage and collection stands. It is imperative that these be adequately screened and constructed of materials that complement the architecture.

FENCES

Fences to the Medium Density sites will generally front onto one or more of the following:

- Main road
- Secondary road
- Parkland

Because they represent a substantial visual impact on these frontages, fences are discouraged to these Lots. However, if a fence or portion of a fence can be demonstrated to be integral with the design of the dwelling, then the following fence types will be considered:

- Front fence – Type 1
- Fence to secondary street – Type 1
- Fence to Parkland – Type 1

Due to the overall impact these developments can have on the community, the DRC will exercise discretion regarding the design and extent of such fencing proposals.



STEP 1 PREPARATION

- Read guidelines
- Check details

STEP 2 CONCEPT DESIGN

- Submit design

STEP 3 DOCUMENTATION

- Submit building approval documentation

APPROVALS

THE DESIGN REVIEW COMMITTEE

The Design Review Committee consists of expert advisors selected to assist home owners, architects and builders. The primary aim is to implement the Guidelines and approve designs for construction. However, the value of this Committee extends beyond this by assisting architects and by guiding owners in a way that encourages the most appropriate design solutions for specific lots and the blending of the Built Environment as a community.

IMPORTANT PREPARATIONS

Before submitting your plans check the following:

- You have read the Guidelines fully and understand them
- You have clarified (with the DRC, your architect or advisor) any points you are not clear about
- You have read the Development Control By Laws
- You have checked the Building Act and Council By Laws to ensure you comply with them
- You have completed the prerequisite forms and documents

THE STEP BY STEP APPROVAL PROCESS

STEP 1: PREPARATION

- Read the Guidelines
- Appoint your architect or designer

STEP 2: DESIGN SUBMISSION

This is a preliminary submission to simply confirm with the DRC your general concept to ensure it is acceptable before you produce the final building approval documentation.

- Submit Application Form
- Submit Design Drawings consisting of the following:

A) Site Plan 1:200 scale

- North Point
- Property Boundaries (with metres and bounds noted)
- Building setbacks fully dimensioned
- Building Roof plan showing the location of pools, pergolas etc.
- Location of garages/carports and driveways
- Hard landscaping and soft landscaping concept in general

B) Floor Plans (Schematic Design) 1:100 scale

- Ground Floor
- First Floor (if applicable)
- Visitor Parking
- Elevations
- Overall dimensions
- Floor to floor heights
- Maximum over all height
- Ground line (existing & proposed)
- Indicative colours proposed finishes and materials

STEP 3: DOCUMENTATION SUBMISSION

Note: This step checks the construction documents for compliance with the Guidelines and verifies that recommendations made at the design stage have been incorporated. Be sure to check that the documents conform with local authority regulations as this is your responsibility along with that of your architect, designer or builder. The DRC will approve and stamp your conforming documents for submission to the relevant authorities:

Submit your application form and your previously approved design from the DRC. Submit your construction documents consisting of the following:

A) Site Plan 1:200

- North Point
- Property Lines with metes and bounds
- Setbacks fully dimensioned
- Building outline with paving, pools, on site parking and any ancillary structures

B) Floor Plans 1:100

- Rooms dimensioned and labelled
- Overall dimensions
- Floor area statistics
- Windows & doors with operation shown
- Overhangs indicated

C) Elevations and Sections (1:100) showing:

- Floor to floor heights
- Roof pitch
- Overall height
- Fenestration treatment
- Windows and doors
- Overhangs
- Project statistics

D) Landscape Plan 1:100 showing:

- North Point
- Building location
- Layout of hard surfaces
- Fences
- Bin storage, clothes lines, outdoor structures
- Lawn & Planting areas
- Retaining structures
- Plant schedule
- Storm water system, discharge & re-use

Note: The DRC, whilst administering the Guidelines is also available to assist you in situations where hardship or variations to the Guidelines may occur. The DRC will, in such cases, assess on merit your description and justification for them.

In evaluating all submissions, it must be remembered that in its role, the DRC will either approve them, approve them with conditions or not approve them for submission to the relevant authorities.





DEFINITIONS

"DRC or "Design Review Committee" means a committee nominated by Royal Pines and the PBC as its eventual successor;

"The Architectural Guidelines" means, those design and building standards issued by the DRC from time to time which explains the architectural and landscape intent;

"Building Permit" means an approval from the council or private certifier to construct on a given lot;

"Building Works" means any works or proposed works in respect of a Lot or Lots including without limitation, proposed external construction, excavations, alterations, additions, the erection of plant and equipment, antennas, aerials and the like, extensions and repairs whether to dwellings or associated structures or buildings, or fences, retaining walls, exterior lighting, clothes lines, driveways, pools or recreational facilities. It includes landscaping and tree planting, painting, repainting and the erection of Outdoor Structures;

"Council or Local Authority" means Gold Coast City Council;

"Lightweight Structures" means decks, terraces or other structures approved by the DRC in its absolute discretion but excluding carports, garages, sheds, storage facilities and the like;

"Lot" means an allotment on the Plan of subdivision;

"Dwelling or Residence" means the principal residence constructed or to be constructed on a Lot;

"Outdoor Structures" means pergolas, gazebos, storage sheds, shade structures and other similar outdoor structures;

"Plant, Equipment" includes but not limited to air conditioning, pool and water feature equipment, spa motors, solar mats, pool heaters, TV antennas etc;

"Primary Street Boundary" means the boundary line, or part, which is directly in front of the primary address entry of the Lot;

"Rear Boundary" means any boundary line, or part which coincides with the alignment of another property, golf course, river, or public open space;

"Required Documents" means 2 copies of documents requested by the DRC;

"Secondary Street Boundary"

The frontage which abuts a street deemed to be secondary as opposed to the primary street which is the address of the lot;

"Set Back" means a distance beyond which no part of a Building or other improvement may be erected or may project towards a Front, Side or Rear Boundary;

"Shade Device" means any structure flexible or otherwise which is used to shade either the building or any part of the lot;

"Side Boundary" means any boundary line or part, which coincides with the alignment of another Lot or public open space;

"Site Coverage" means that portion of a Lot which is covered by a building or other structure having an impervious roof, including balconies and eaves. Sail or similar shade structures are not included;

"Temporary Structures" means Building Works which do not comply with Design and Building Standards, but have approval of the DRC and are associated with the construction of Building Works;

"Variation" means consent by the DRC to Building Works which are inconsistent with a previous approval given by DRC;

DISCLAIMER: This brochure is a guide only and does not constitute an offer or contract; it does not and will not form part of any contract. Illustrations and photographs are for presentation purposes and are indicative only. Intending purchasers are advised to carry out their own investigations to satisfy themselves of the correctness of each description or reference.

NOTES

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